



Development Charges Update Study

Town of Lincoln

March 1, 2022

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Report



Chapter 1

Introduction



1. Introduction

1.1 Background

The Town of Lincoln imposes development charges (D.C.) to recover capital costs arising from the increase in needs for service related to growth. The Town's D.C. by-law imposes charges for the following services:

- Municipal-Wide Services:
 - Services Related to a Highway;
 - Fire Protection Services;
 - Municipal Parking;
 - Outdoor Recreation Services;
 - Indoor Recreation Services;
 - Library Services; and
 - Administration (Growth Studies).
- Urban Area Services:
 - Water Services;
 - Wastewater Services; and
 - Stormwater Services.

In addition to the above services, the Town also recovers stormwater costs associated with growth through an area specific charge in the Campden area.

The D.C.s came into effect on April 30, 2019 and are imposed through by-law 2018-93. The following documents provide the details to the calculations and policies:

- “Town of Lincoln Development Charge Background Study”- dated May 17, 2018; and
- “Addendum No. 1 to: Town of Lincoln Development Charge Background Study” - dated September 7, 2018.

The Town's D.C.s have been indexed (in accordance with section 5.1 of the by-law) annually on January 1st, beginning in 2019, and are currently 24.1% higher than the rates implemented under By-law 2018-93. The 2018 D.C.s (unindexed) are shown in Figure 1-1.



The purpose of this report is to update the current D.C. by-law to reflect cost changes to a select number of existing projects and to meet the requirements of the Development Charges Act (D.C.A.), as amended by Bill 108 (*More Homes, More Choice Act, 2019*), Bill 138 (*Plan to Build Ontario Act, 2019*), Bill 197 (*COVID-19 Economic Recovery Act, 2020*), and Bill 213 (*Better for People, Smarter for Business Act, 2020*). A full discussion on the amending legislation is provided in Chapter 2.

A summary of the changes contained in this D.C. Update are provided below:

- Based on updated cost estimates and recent tender prices, select projects for parks and water services have been revised.
- The legislation has removed the mandatory deduction for all services that remain eligible in the D.C. For the Town, the 10% deduction may be removed for the following services:
 - Indoor and Outdoor Recreation Services (Parks and Recreation Services);
 - Library Services;
 - Parking; and
 - Administration (Growth Studies).
- The listing of eligible services has been changed by the amending legislation. For the Town, Parking will no longer be an eligible service as of September 18, 2022 (the end of the transition period provided by the amending legislation). The amendments to the D.C. by-law will reflect this change.
- An additional change brought forth through Bill 197 is related to establishing classes of services. A class of service may be composed of any number or combination of services and may include parts or portions of each D.C.-eligible service. As a result of these changes to the D.C.A., this update report provides for Growth Studies (formerly Administration) as a class of service. Further discussion on classes of services is provided in Chapter 2.
- The amended regulations provide for mandatory D.C. exemptions for additional dwelling units in new residential buildings, an additional dwelling unit in a residential building that is ancillary to a new residential building, and for universities receiving government funding. These exemptions are to be added to the Town's amending D.C. by-law.
- Further changes related to the timing of payments for rental housing, institutional, and non-profit development were proclaimed through Bill 108. Additionally, the D.C. amount for all developments occurring within 2 years of a Site Plan or



Zoning By-law Amendment planning approval, shall be determined based on the D.C. in effect as of the date of receipt of a complete application for Site Plan or Zoning By-law Amendment. If the development is not proceeding via these planning approvals, then the amount is determined as the earlier of the date of issuance of a building permit or occupancy. These changes will be addressed in the amending by-law, discussed in Chapter 5 and provided in Appendix C.



Figure 1-1
Town of Lincoln
2018 Development Charges (2018 \$)
as per By-law 2018-93

Service/Class of Service	RESIDENTIAL					NON-RESIDENTIAL (per sq.m. of Gross Floor Area)		
	Single and Semi-Detached Dwelling	Other Multiples	Apartments - 2 Bedrooms +	Apartments - Bachelor and 1 Bedroom	Special Care/Special Dwelling Units	Commercial	Industrial	Institutional
Services Related to a Highway	8,366	6,760	5,634	3,437	2,817	64.91	27.13	46.39
Municipal Parking Spaces	77	62	52	32	26	0.54	0.22	0.43
Fire Protection Services	1,379	1,114	929	566	464	10.76	4.52	7.64
Outdoor Recreation Services	3,052	2,466	2,055	1,254	1,028	3.44	1.51	2.48
Indoor Recreation Services	3,152	2,547	2,123	1,295	1,061	3.66	1.4	2.48
Library Services	457	369	308	188	154	0.54	0.32	0.43
Growth Studies	1,507	1,218	1,015	619	507	10.87	4.63	7.75
Total Municipal-Wide Services	17,990	14,536	12,116	7,391	6,057	94.72	39.73	67.60
Urban Services								
Stormwater Drainage	1,578	1,275	1,063	648	531	30.25	12.49	21.31
Wastewater Services	2,383	1,926	1,605	979	802	19.48	8.07	13.78
Water Services	652	527	439	268	220	5.27	2.15	3.77
Total Urban Services	4,613	3,728	3,107	1,895	1,553	55.00	22.71	38.86
Grand Total - Municipal + Urban	22,603	18,264	15,223	9,286	7,610	149.72	62.44	106.46
Area Specific (Campden)								
Stormwater Drainage	12,903	10,427	8,689	5,300	4,344	-	-	-
Total Area Specific - Campden	12,903	10,427	8,689	5,300	4,344	-	-	-
Grand Total - Municipal + Campden	30,893	24,963	20,805	12,691	10,401	94.72	39.73	67.60



1.2 Existing Policies (Rules)

Appendix A of this report sets out the rules governing the calculation, payment, and collection of D.C.s as provided in By-law 2018-93.

1.3 Basis for the D.C. By-law Update

This D.C. update study provides for an amendment to the Town's current D.C. by-law (By-law 2018-93) based on the legislative changes to the D.C.A. These include:

- Amending the costs of projects for:
 - Parks and Recreation; and
 - Water Services;
- Updating the D.C. analysis to remove the 10% mandatory deduction;
 - This includes updating the service standards for the related services.
- Providing for Parking Services in a separate schedule to the by-law as it will no longer be an eligible service as of September 18, 2022. Schedule B to the Town's D.C. By-law will also be amended to reflect this change;
- Creating a class of service for Growth Studies; and
- Updating the D.C. policies in the by-law with respect to:
 - D.C. instalment payments;
 - D.C. rate freeze;
 - Mandatory exemption for new additional units and universities; and
 - Updated definitions (which have been established as part of Bills 108, 138, 197, and 213).

Details of the changes to the calculations and by-law are presented in Chapter 4 and Chapter 5 of this report, respectively. The draft amending by-law is presented in Appendix C to this report.

1.4 Summary of the Process

The public meeting required under section 12 of the D.C.A. has been scheduled for March 28, 2022. Its purpose is to present the update study to the public and to solicit public input. The meeting is also being held to answer any questions regarding the



study's purpose, methodology, and the proposed modifications to the Town's D.C. by-law.

The process to be followed in finalizing the report and recommendations includes:

- consideration of responses received prior to, at, or immediately following the Public Meeting; and
- Council consideration of the amending by-law on May 2, 2022.

Figure 1-2 outlines the proposed schedule to be followed with respect to the D.C. by-law adoption process.

Figure 1-2
Schedule of Key D.C. Process Dates for the Town of Lincoln

Schedule of Study Milestone	Dates
1. Data collection, staff review, D.C. calculations and policy work	August to November, 2021
2. Senior Management Team Meeting	November 24, 2021
3. Council Workshop	January 19, 2022
4. Stakeholder Meeting	January 21, 2022
5. Background study and proposed by-law available to public	March 1, 2022
6. Public meeting advertisement placed in newspaper(s)	No later than March 7, 2022
7. Public meeting of Council	March 28, 2022
8. Council considers adoption of background study and passage of amending by-law	May 2, 2022
9. Effective date of the by-law	Upon approval of amending by-law
10. Newspaper notice given of by-law passage	By 20 days after passage
11. Last day for by-law appeal	40 days after passage
12. Town makes pamphlet available (where by-law no appealed)	By 60 days after in force date



1.5 Policy Recommendations

It is recommended that the Town's current D.C. policies, as identified in Appendix A of this report, be continued.

Additionally, the new policies as stated in Bill 108, Bill 138, Bill 197, Bill 213 and O. Reg. 80/98 as amended by O.Reg. 454-19 are recommended to be included. This is discussed in more detail in Chapter 2 of this report.



Chapter 2

Changes to the D.C.A. Legislation



2. Changes to the D.C.A. Legislation

2.1 Bill 108 – *More Homes, More Choice Act, 2019*

On May 2, 2019, the Province introduced Bill 108, which proposed changes to the D.C.A. The Bill has been introduced as part of the Province's "*More Homes, More Choice: Ontario's Housing Supply Action Plan.*" The Bill received Royal Assent on June 6, 2019.

While having received royal assent, many of the amendments to the D.C.A. would not come into effect until they are proclaimed by the Lieutenant Governor (many of these changes were revised through Bill 197). The following provisions have been proclaimed:

- Effective January 1, 2020, rental housing and institutional developments will pay D.C.s in six equal annual payments commencing at occupancy. Non-profit housing developments will pay D.C.s in 21 equal annual payments. Interest may be charged on the instalments, and any unpaid amounts may be added to the property and collected as taxes.
- Effective January 1, 2020 the D.C. amount for all developments occurring within 2 years of a Site Plan or Zoning By-law Amendment planning approval (for application submitted after this section is proclaimed), shall be determined based on the D.C. in effect on the day of Site Plan or Zoning By-law Amendment application. If the development is not proceeding via these planning approvals, then the amount is determined the earlier of the date of issuance of a building permit or occupancy.

On February 28, 2020, the Province released updated draft regulations related to the D.C.A. and the Planning Act. A summary of these changes is provided below:

Changes to Eligible Services – Prior to Bill 108, the D.C.A. provided a list of ineligible services whereby municipalities could include growth related costs for any service that was not listed. With Bill 108, the changes to the D.C.A. would now specifically list the services that are eligible for inclusion in the by-law. Further, the initial list of eligible services under Bill 108 was limited to "hard services," with the "soft services" being removed from the D.C.A. These services would be considered as part of a new



community benefits charge (discussed below) imposed under the Planning Act. As noted in the next section this list of services has been amended through Bill 197.

Mandatory 10% deduction – The amending legislation would have removed the mandatory 10% deduction for all services that remain eligible under the D.C.A.

Remaining Services to be Included in a New Community Benefits Charge (C.B.C.) Under the Planning Act – It was proposed that a municipality may, by by-law, impose a C.B.C. against land to pay for the capital costs of facilities, services and matters required because of development or redevelopment in the area to which the by-law applies. The C.B.C. was proposed to include formerly eligible D.C. services (as noted below), in addition to parkland dedication and other types of cost formerly recovered under Section 37 of the Planning Act.

2.2 Bill 138 - *Plan to Build Ontario Together Act, 2019*

On November 6, 2019, the Province release Bill 138 which provided further amendments to the D.C.A. and Planning Act. This Bill received Royal Assent on December 10, 2019 and was proclaimed which resulted in sections related to the D.C.A. (schedule 10) becoming effective on January 1, 2020. The amendments to the D.C.A. included removal of instalment payments for commercial and industrial developments that were originally included in Bill 108.

2.3 Bill 197 - *COVID-19 Economic Recovery Act, 2020*

In response to the global pandemic that began affecting Ontario in early 2020, the Province released Bill 197 which provided amendments to a number of Acts, including the D.C.A. and Planning Act. This Bill also revised some of the proposed changes identified in Bill 108. Bill 197 was tabled on July 8, 2020, received Royal Assent on July 21, 2020, and was proclaimed on September 18, 2020. The following provides a summary of the changes:



2.3.1 D.C. Related Changes

List of D.C. Eligible Services

As noted above, under Bill 108 some services were to be included under the D.C.A. and some would be included under the C.B.C. authority. However, Bill 197 revised this proposed change and has included all services (with some exceptions) under the D.C.A. These services are as follows:

- Water supply services, including distribution and treatment services.
- Wastewater services, including sewers and treatment services.
- Storm water drainage and control services.
- Services related to a highway.
- Electrical power services.
- Toronto-York subway extension.
- Transit services.
- Waste diversion services.
- Policing services.
- Fire protection services.
- Ambulance services.
- Library services
- Long-term Care services
- Parks and Recreation services, but not the acquisition of land for parks.
- Public Health services
- Childcare and early years services.
- Housing services.
- Provincial Offences Act services.
- Services related to emergency preparedness.
- Services related to airports, but only in the Regional Municipality of Waterloo.
- Additional services as prescribed.

Classes of Services – D.C.

Pre-Bill 108/197 legislation (i.e. D.C.A., 1997) allows for categories of services to be grouped together into a minimum of two categories (90% and 100% services).



The amending legislation repealed and replaced the above with the four following subsections:

- A D.C. by-law may provide for any eligible service or capital cost related to any eligible service to be included in a class, set out in the by-law.
- A class may be composed of any number or combination of services and may include parts or portions of the eligible services or parts or portions of the capital costs in respect of those services.
- A D.C. by-law may provide for a class consisting of studies in respect of any eligible service whose capital costs are described in paragraphs 5 and 6 of s. 5 of the D.C.A.
- A class of service set out in the D.C. by-law is deemed to be a single service with respect to reserve funds, use of monies, and credits.

Note: An initial consideration of “class” appears to mean any group of services.

10% Mandatory Deduction

The removal of 10% deduction for soft services under Bill 108 has been maintained.

10-Year Planning Horizon

The “maximum” 10-year planning horizon has been removed for all services except transit.

2.3.2 Community Benefit Charges (C.B.C.)

While a Community Benefit Charge is not being considered within this report, a summary of the legislated changes is provided herein for information purposes.

C.B.C. Eligibility

The C.B.C. is limited to lower-tier and single tier municipalities, whereas upper-tier municipalities will not be allowed to impose this charge. O.Reg. 509/20 was filed on September 18, 2020 and provides for the following:

- A maximum rate will be set as a percentage of the market value of the land the day before building permit issuance. The maximum rate is set at 4%. The C.B.C



may only be imposed on developing or redeveloping buildings which have a minimum height of five stories and contain no less than 10 residential units.

- Bill 197 states that before passing a C.B.C. by-law, the municipality shall prepare a C.B.C. strategy that (a) identifies the facilities, services, and matters that will be funded with C.B.C.s; and (b) complies with any prescribed requirements.
- Only one C.B.C. by-law may be in effect in a local municipality at a time.

2.3.3 Combined D.C. and C.B.C. Impacts

D.C. vs. C.B.C. Capital Cost

A C.B.C. may be imposed with respect to the services listed in s. 2 (4) of the D.C.A. (eligible services), "provided that the capital costs that are intended to be funded by the community benefits charge are not capital costs that are intended to be funded under a development charge by-law."

Transition – D.C. and C.B.C.

The specified date for municipalities to transition to the D.C. and C.B.C. is two years after Schedules 3 and 17 of the COVID-19 Economic Recovery Act comes into force (i.e. September 18, 2022).

- Generally, for existing reserve funds (related to D.C. services that will be ineligible):
 - If a C.B.C. is passed, the funds are transferred to the C.B.C. special account;
 - If no C.B.C. is passed, the funds are moved to a general reserve fund for the same purpose.
 - If a C.B.C. is passed subsequent to moving funds to a general reserve fund, those monies are then moved again to the C.B.C. special account.
- For reserve funds established under s. 37 of the Planning Act (e.g. bonus zoning)
 - If a C.B.C. is passed, the funds are transferred to the C.B.C. special account;
 - If no C.B.C. is passed, the funds are moved to a general reserve fund for the same purpose;
 - If a C.B.C. is passed subsequent to moving funds to a general reserve fund, those monies are then moved again to the C.B.C. special account.



If a municipality passes a C.B.C. by-law, any existing D.C. credits a landowner retains may be used towards payment of that landowner's C.B.C.

2.4 Bill 213 – *Better for People, Smarter for Business Act, 2020*

On December 8, 2020, Bill 213 received Royal Assent. One of the changes of the Bill that took effect upon Royal Assent included amending the Ministry of Training, Colleges and Universities Act by introducing a new section that would exempt the payment of D.C.s for developments of land intended for use by a university that receives operating funds from the Government.

Due to this, a revision to the exemptions section will be made in the proposed amending D.C. by-law.



Chapter 3

Anticipated Development



3. Anticipated Development

3.1 Growth Forecast in the 2018 D.C. Study

The 2018 D.C. study provided for the anticipated residential and non-residential growth within the Town of Lincoln. The growth forecast associated with services included in the background study is provided in Figure 3-1 below:

Figure 3-1
Town of Lincoln
2018 D.C. Background Study – Growth Forecast Summary

Measure	10 Year 2018 to 2027	20 Year 2018 to 2037	2018 to Urban Buildout (2041)
(Net) Population Increase	3,486	6,083	6,288
Residential Unit Increase	1,553	2,942	3,069
Non-Residential Gross Floor Area Increase (sq.ft.)	694,500	1,332,800	1,778,800

For the purposes of this D.C. update, the 2018 D.C. Study growth forecast remains unchanged as the incremental growth is anticipated to remain the same.



Chapter 4

Updates to the Town's D.C. Study



4. Updates to the Town's D.C. Study

As noted earlier, the Town's D.C. By-law 2018-93 came into effect on April 30, 2019, being a by-law for the purposes of establishing and collecting a D.C. in accordance with the provisions of the D.C.A. The 2018 D.C. Study and by-law identified anticipated capital needs for recovery through D.C.s for municipal-wide and area-specific services.

This chapter of the report discusses:

- The revision of capital costs for projects related to parks and recreation services and water services; and
- the removal of the 10% mandatory deduction for parks and recreation services, library services, parking, and growth studies.

As these costs are being added as part of the 2018 D.C. Study, the capital costs are being presented in 2018 dollars. A discussion is also provided on the classification of Growth Studies as a class of service.

As part of a D.C. amendment, consideration must be given to the historical service level calculation to ensure that the service level ceiling has not been exceeded in the updated calculations. These calculations have been undertaken and are included in Appendix B to this report. No service level has been exceeded by the calculations provided herein.

4.1 Parking Services

Given the change to the D.C.A. through Bill 197, parking will become an ineligible service under the D.C.A as of September 18, 2022. However, the Town is eligible to collect D.C.s for this service until that date. As such, the D.C.s related to this service will be provided in a schedule to the by-law which will be effective until September 18, 2022; After which these D.C.s will no longer be imposed on development or redevelopment within the Town.

Adjustments have been made to reflect the removal of the mandatory 10% deduction as provided in the capital project listing identified in Figure 4-1. This results in a revised growth-related capital cost of \$147,288.



The details regarding the updated parking service standards are provided in Appendix B. The resulting service standards for parking provide a D.C. ceiling of \$150,560. As the growth-related capital program is \$147,288, the D.C.-eligible capital amounts are within the level of service ceiling.

Based on the Town's 2018 D.C. study, the costs have been allocated between residential and non-residential development based on the ratio of future anticipated population and employment. This results in an allocation of 75% to residential development and 25% to non-residential development over the 10-year forecast period.



Figure 4-1
Town of Lincoln
Parking Spaces Capital – Update

Prj.No	Increased Service Needs Attributable to Anticipated Development	Timing (year)	Gross Capital Cost Estimate (2018\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
							Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share	Non- Residential Share
	2018-2027									75%	25%
1	Public Parking Lot, Beamsville (155 spaces)	2020-2025	1,096,500	359,650		736,850	548,250		188,600	141,450	47,150
2	Public Parking Lot, Vineland (20 spaces)	2022	240,000	120,000		120,000	120,000		-	-	-
3	Public Parking Lot, Jordan (80 spaces)	2024	404,900	202,450		202,450	202,450		-	-	-
									-		
4	Reserve Fund Adjustment	Reserve	-	-		-	41,312		(41,312)	(30,984)	(10,328)
	Total		1,741,400	682,100	-	1,059,300	912,012	-	147,288	110,466	36,822



4.2 Parks and Recreation Services

The Town currently collects for capital costs for Parks and Recreation services under two categories, Indoor and Outdoor Recreation Services. With the changes to the D.C. Act, these charges continue to be eligible as Parks and Recreation Services. For updated calculation purposes, we have provided the capital project lists in two sub-categories within this combined eligible service; Outdoor Recreation (Parkland Development) and Indoor Recreation (Facilities).

As discussed earlier, the capital costs included for Parks and Recreation services have been modified to remove the mandatory 10% deduction. Figures 4-2 to 4-3 provide the updated capital project listings with the removal of the 10% deduction.

In addition to the removal of the 10% deduction, the project cost (2018\$) associated with Angelina Prokich Park has been updated from \$1,254,600 to \$1,346,000 to reflect recent tenders.

The updated service standard calculations for Parks and Recreation services provides a total D.C. eligible amount for recovery of \$8,967,909. To remain within the service standard ceiling, an adjustment of \$67,000 was made as a post period benefit. Therefore, the net growth-related costs of \$8,967,194 is being included in the D.C. calculations.

Based on the Town's 2018 D.C. Study, as the predominant users of parks and recreation tend to be residents of the Town, the forecasted growth-related costs have been allocated 95% to residential and 5% to non-residential.



Figure 4-2
Town of Lincoln
Parks and Recreation Capital – Update
Parkland Development

Prj.No	Increased Service Needs Attributable to Anticipated Development	Timing (year)	Gross Capital Cost Estimate (2018\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
							Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share 95%	Non- Residential Share 5%
	2018-2027										
1	Angelina Prokich Park	2018	1,346,000	-		1,346,000	-		1,346,000	1,278,700	67,300
2	Serena Park	2019-2021	3,060,000	-		3,060,000	-		3,060,000	2,907,000	153,000
3	Charles Daley Park	2024	2,500,000	217,500		2,282,500	1,675,000		607,500	577,125	30,375
4	Prudhommes Park	2021-2022	2,550,000	2,550,000		-	-		-	-	-
5	Skateboard Park	2019	765,000	765,000		-	-		-	-	-
6	Ashby Park	2019-2020	500,000	125,000		375,000	125,000		250,000	237,500	12,500
7	Hilary Bald Park	2023	1,020,000	255,000		765,000	765,000		-	-	-
8	Meadowood Park	2020-2021	500,000	125,000		375,000	125,000		250,000	237,500	12,500
9	Beamsville Lions Park	2019-2023	1,326,000	331,500		994,500	994,500		-	-	-
10	Naturalization Park Development	2019-2024	122,400	30,600		91,800	91,800		-	-	-
11	St. Vodoymr	2021-2022	510,000	135,150		374,850	127,500		247,350	234,983	12,368
12	Konkle Creek Multi-use Trail	2020-2021	153,000	-		153,000	37,500		115,500	109,725	5,775
13	Bartlett Creek Multi-use Trail	2018-2020	550,800	-		550,800	54,000		496,800	471,960	24,840
14	Provision for Additional Equipment	2018-2025	750,000	-		750,000	-		750,000	712,500	37,500
									-		
15	Reserve Fund Adjustment	Reserve	-	-		-	2,311,741		(2,311,741)	(2,196,154)	(115,587)
									-		
16	Post Period Adjustment		-	67,000		(67,000)	-		(67,000)	(63,650)	(3,350)
	Total		15,653,200	4,601,750	-	11,051,450	6,307,041	-	4,744,409	4,507,189	237,220



Figure 4-3
Town of Lincoln
Parks and Recreation Capital – Update
Facilities

Prj.No	Increased Service Needs Attributable to Anticipated Development	Timing (year)	Gross Capital Cost Estimate (2018\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
							Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share 95%	Non- Residential Share 5%
	2018-2027										
1	Prudhommes Municipal Facility	2023	604,600	604,600		-	-		-	-	-
2	New Office Space	2020	1,525,000	30,500		1,494,500	762,500		732,000	695,400	36,600
3	Jordan Multi-Purpose Space	2019-2023	17,500,000	8,750,000		8,750,000	8,750,000		-	-	-
4	Fleming Centre Land Debenture - Principal	2018-2023	820,719	-		820,719	-		820,719	779,683	41,036
5	Fleming Centre Land Debenture - Interest (Discounted)	2018-2023	40,133	-		40,133	-		40,133	38,127	2,007
6	Fleming Centre Construction Debenture - Principal	2018-2046	2,665,614	1,746,437		919,177	-		919,177	873,218	45,959
7	Fleming Centre Construction Debenture - Interest (Discounted)	2018-2046	461,625	302,444		159,181	-		159,181	151,222	7,959
									-		
8	Reserve Fund Balance	reserve	1,551,575	-		1,551,575	-		1,551,575	1,473,996	77,579
	Total		25,169,266	11,433,980	-	13,735,285	9,512,500	-	4,222,785	4,011,646	211,139



4.3 Library Services

With respect to library services, adjustments have been made to reflect the removal of the mandatory 10% deduction. Figures 4-4 and 4-5 provide the capital project listing with the removal of the mandatory deduction.

The details regarding the updated library service standards are provided in Appendix B. The resulting service standards for library services provide for a D.C. eligible amount of \$1.02 million for recovery over the forecast period. As the combined capital program for library services is \$624,827, the D.C.-eligible capital amounts are within the level of service ceiling.

Based on the Town's 2018 D.C. study, the growth-related capital costs have been allocated 95% residential and 5% non-residential. This is to acknowledge that although library usage is predominantly residential based, there is some use of the facilities by non-residential users.



Figure 4-4
Town of Lincoln
Library Facilities – Updated Capital Listing

Prj.No	Increased Service Needs Attributable to Anticipated Development	Timing (year)	Gross Capital Cost Estimate (2018\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
							Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share	Non- Residential Share
2018-2027									95%	5%	
1	Book Locker - Prudhommes	2024	61,600	-		61,600	-		61,600	58,520	3,080
2	Fleming Centre Land Debenture - Principal	2018-2023	144,833	-		144,833	-		144,833	137,591	7,242
3	Fleming Centre Land Debenture - Interest (Discounted)	2018-2023	7,082	-		7,082	-		7,082	6,728	354
4	Fleming Centre Construction Debenture - Principal	2018-2046	470,402	-		470,402	-		470,402	446,882	23,520
5	Fleming Centre Construction Debenture - Interest (Discounted)	2018-2046	81,463	-		81,463	-		81,463	77,390	4,073
									-		
6	Reserve Fund Adjustment	Reserve	-	-		-	310,554		(310,554)	(295,026)	(15,528)
	Total		765,381	-	-	765,381	310,554	-	454,827	432,086	22,741



Figure 4-5
Town of Lincoln
Library Materials – Updated Capital Listing

Prj.No	Increased Service Needs Attributable to Anticipated Development	Timing (year)	Gross Capital Cost Estimate (2018\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
							Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share	Non- Residential Share
	2018-2027									95%	5%
1	Provision for New Materials and Equipment	2018-2027	170,000	-		170,000	-		170,000	161,500	8,500
	Total		170,000	-	-	170,000	-	-	170,000	161,500	8,500



4.4 Water Services

Through this D.C. update process, Town staff have identified a number of costing changes to capital projects for water services. A summary of the changes is presented below:

- Project 1: Prudhommes Watermain Construction Upgrade – Project costs have been updated to \$10,475,000.
- Project 3: Cherry Heights Blvd. (King St. to Eastdale Dr.) and Eastdale Dr. (Cherry Heights Blvd. to South Limit) – Project costs have been updated to \$483,000.
- Project 4: Hixon Street PS Upgrade – Project costs have been updated to \$885,000.

The above refinements result in an overall increase to the net D.C. recoverable amount. The total D.C. recoverable costs included in the calculations is now \$3,569,169 (was previously \$2,195,365) and the details are presented in Figure 4-6.

The capital costs have been allocated 71% to residential development and 29% to non-residential development based on the incremental growth in population to employment for the urban buildout (water service areas) forecast period. This is consistent with the 2018 D.C. Background Study.



Figure 4-6
Town of Lincoln
Water Services – Updated Capital Listing

Prj.No	Increased Service Needs Attributable to Anticipated Development	Timing (year)	Gross Capital Cost Estimate (2018\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
							Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share 71%	Non-Residential Share 29%
2018-Urban Buildout											
1	Prudhommes Watermain Construction Upgrade	2019-2020	10,475,000	5,237,500		5,237,500	2,828,250		2,409,250	1,710,568	698,683
2	S/S Road (Bartlett Rd to Ontario St)	2026	983,300	-		983,300	-		983,300	698,143	285,157
3	Cherry Heights Blvd (King St to Eastdale Dr) and Eastdale Dr (Cherry Heights Blvd to South Limit)	2018-2021	483,000	-		483,000	241,500		241,500	171,465	70,035
4	Hixon Street PS Upgrade	2020	885,000	-		885,000	-		885,000	628,350	256,650
5	Reserve Fund Adjsutment	Reserve	-	-		-	949,881		(949,881)	(674,416)	(275,466)
	Total		12,826,300	5,237,500	-	7,588,800	4,019,631	-	3,569,169	2,534,110	1,035,059



4.5 Growth Studies

Bill 197 introduced an amendment to the D.C.A. regarding the creation of classes of services . A class of service may be composed of any number or combination of services and may include parts or portions of each D.C.-eligible service. Section 7 of the D.C.A. states that a D.C. by-law may provide for any D.C.-eligible service or the capital costs with respect to those services. These provisions allow for services to be grouped together to create a class for the purposes of the D.C. by-law and D.C. reserve funds.

In addition, Section 7(3) of the D.C.A. states that:

“For greater certainty, a development charge by-law may provide for a class consisting of studies in respect of any service listed in subsection 2 (4) whose capital costs are described in paragraphs 5 and 6 of subsection 5 (3).”

As a result of these changes to the D.C.A., this update study provides for the former “Administration” to be categorized as a class of service entitled “Growth Studies.” Growth Studies provide for studies comprised of the following services:

- Services Related to a Highway;
- Fire Protection Services;
- Parks and Recreation Services;
- Library Services;
- Water Services;
- Wastewater Services; and
- Stormwater Services.

Figure 4-7 depicts how the costs of capital projects are allocated across the services. For planning related studies, a deduction of 10% has been applied to recognize the extent to which some studies relate to non-D.C.-eligible services. All planning studies have been allocated to the class of services in the following manner:

- Services Related to a Highway – 20%
- Fire Protection Services – 10%
- Parks and Recreation Services – 5%
- Library Services – 5%



- Water Services – 20%
- Wastewater Services – 20%
- Stormwater Services – 20%

With respect to the capital cost of D.C. background studies, they have been allocated across the different services based on the proportion of the total net growth-related capital costs. The following provides a breakdown of the allocation of D.C. background studies to each service:

- Services Related to a Highway – 43%
- Fire Protection Services – 7%
- Parks and Recreation Services – 15%
- Library Services – 1%
- Water Services – 6%
- Wastewater Services – 13%
- Stormwater Services – 15%

In addition to the changes noted above, the mandatory 10% deduction has been removed. The total revised growth-related capital costs included in the updated D.C. calculations equal \$2.43 million.

The capital costs have been allocated 75% to residential development and 25% to non-residential development based on the incremental growth in population to employment for the 10-year forecast period. This is consistent with the 2018 D.C. Background Study.



**Figure 4-7
Town of Lincoln
Growth Studies – Updated Capital Listing**

Prj.No	Increased Service Needs Attributable to Anticipated Development	Category	Timing (year)	Gross Capital Cost Estimate (2018\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
								Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share 75%	Non-Residential Share 25%
	2018-2027											
1	Planning and Development Study	Parks and Recreation Services	2020	218,000	-	21,800	196,200	98,100		98,100	73,575	24,525
2	Development Charges Study											
2a	Development Charges Study	Stormwater Drainage and Control Services	2018	6,700	-		6,700	-		6,700	5,025	1,675
2b	Development Charges Study	Wastewater Services	2018	5,900	-		5,900	-		5,900	4,425	1,475
2c	Development Charges Study	Water Services	2018	2,600	-		2,600	-		2,600	1,950	650
2d	Development Charges Study	Services Related to a Highway	2018	19,500	-		19,500	-		19,500	14,625	4,875
2e	Development Charges Study	Fire Protection Services	2018	3,200	-		3,200	-		3,200	2,400	800
2f	Development Charges Study	Parks and Recreation Services	2018	6,600	-		6,600	-		6,600	4,950	1,650
2g	Development Charges Study	Library Services	2018	500	-		500	-		500	375	125
	Sub-Total			45,000	-	-	45,000	-	-	45,000	33,750	11,250
3	Development Charges Study											
3a	Development Charges Study	Stormwater Drainage and Control Services	2022	6,700	-		6,700	-		6,700	5,025	1,675
3b	Development Charges Study	Wastewater Services	2022	5,900	-		5,900	-		5,900	4,425	1,475
3c	Development Charges Study	Water Services	2022	2,600	-		2,600	-		2,600	1,950	650
3d	Development Charges Study	Services Related to a Highway	2022	19,500	-		19,500	-		19,500	14,625	4,875
3e	Development Charges Study	Fire Protection Services	2022	3,200	-		3,200	-		3,200	2,400	800
3f	Development Charges Study	Parks and Recreation Services	2022	6,600	-		6,600	-		6,600	4,950	1,650
3g	Development Charges Study	Library Services	2022	500	-		500	-		500	375	125
	Sub-Total			45,000	-	-	45,000	-	-	45,000	33,750	11,250
4	Official Plan Update											
4a	Official Plan Update	Stormwater Drainage and Control Services	2021	26,380		2,638	23,742	5,936		17,807	13,355	4,452
4b	Official Plan Update	Wastewater Services	2021	26,380		2,638	23,742	5,936		17,807	13,355	4,452
4c	Official Plan Update	Water Services	2021	26,380		2,638	23,742	5,936		17,807	13,355	4,452
4d	Official Plan Update	Services Related to a Highway	2021	26,380		2,638	23,742	5,936		17,807	13,355	4,452
4e	Official Plan Update	Fire Protection Services	2021	13,180		1,318	11,862	2,966		8,897	6,672	2,224
4f	Official Plan Update	Parks and Recreation Services	2021	6,600		660	5,940	1,485		4,455	3,341	1,114
4g	Official Plan Update	Library Services	2021	6,600		660	5,940	1,485		4,455	3,341	1,114
	Sub-Total			131,900	-	13,190	118,710	29,678	-	89,033	66,774	22,258



Figure 4-7 Continued
Town of Lincoln
Growth Studies – Updated Capital Listing

Prj.No	Increased Service Needs Attributable to Anticipated Development	Category	Timing (year)	Gross Capital Cost Estimate (2018\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
								Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share 75%	Non-Residential Share 25%
	2018-2027											
5	Vineland/Jordan I/I Sanitary Study	Wastewater Services	2021	120,000	-		120,000	-		120,000	90,000	30,000
6	Bartlett Rd #26 Bridge Design Study	Services related to a highway	2020	38,500	-		38,500	-		38,500	28,875	9,625
7	Water Modeling Study	Water Services	2019	71,500	-		71,500	35,750		35,750	26,813	8,938
8	Town-Wide I/I Study Phase 2	Wastewater Services	2019-2024	200,000	-		200,000	100,000		100,000	75,000	25,000
9	Bartlett Creek Study	Stormwater Drainage and Control Services	2019-2020	82,400	-		82,400	-		82,400	61,800	20,600
10	Roads Needs Study	Services related to a highway	2018-2022	50,000	-		50,000	45,000		5,000	3,750	1,250
11	Engineering Design Standards	Services related to a highway	2019	49,500	-		49,500	-		49,500	37,125	12,375
12	Storm Drainage Policies	Stormwater Drainage and Control Services	2019-2020	49,500	-		49,500	-		49,500	37,125	12,375
13	Prudhommes Community Improvement Plan											
13a	Prudhommes Community Improvement Plan	Stormwater Drainage and Control Services	2018	14,000	-	1,400	12,600	6,300		6,300	4,725	1,575
13b	Prudhommes Community Improvement Plan	Wastewater Services	2018	14,000	-	1,400	12,600	6,300		6,300	4,725	1,575
13c	Prudhommes Community Improvement Plan	Water Services	2018	14,000	-	1,400	12,600	6,300		6,300	4,725	1,575
13d	Prudhommes Community Improvement Plan	Services Related to a Highway	2018	14,000	-	1,400	12,600	6,300		6,300	4,725	1,575
13e	Prudhommes Community Improvement Plan	Fire Protection Services	2018	7,000	-	700	6,300	3,150		3,150	2,363	788
13f	Prudhommes Community Improvement Plan	Parks and Recreation Services	2018	3,500	-	350	3,150	1,575		1,575	1,181	394
13g	Prudhommes Community Improvement Plan	Library Services	2018	3,500	-	350	3,150	1,575		1,575	1,181	394
	Sub-Total			70,000	-	7,000	63,000	31,500	-	31,500	23,625	7,875
16	Agricultural Area Community Improvement Plan											
16a	Agricultural Area Community Improvement Plan	Stormwater Drainage and Control Services	2018	22,000	-	2,200	19,800	9,900		9,900	7,425	2,475
16b	Agricultural Area Community Improvement Plan	Wastewater Services	2018	22,000	-	2,200	19,800	9,900		9,900	7,425	2,475
16c	Agricultural Area Community Improvement Plan	Water Services	2018	22,000	-	2,200	19,800	9,900		9,900	7,425	2,475
16d	Agricultural Area Community Improvement Plan	Services Related to a Highway	2018	22,000	-	2,200	19,800	9,900		9,900	7,425	2,475
16e	Agricultural Area Community Improvement Plan	Fire Protection Services	2018	10,900	-	1,090	9,810	4,905		4,905	3,679	1,226
16f	Agricultural Area Community Improvement Plan	Parks and Recreation Services	2018	5,500	-	550	4,950	2,475		2,475	1,856	619
16g	Agricultural Area Community Improvement Plan	Library Services	2018	5,500	-	550	4,950	2,475		2,475	1,856	619
	Sub-Total			109,900	-	10,990	98,910	49,455	-	49,455	37,091	12,364



Figure 4-7 Continued
Town of Lincoln
Growth Studies – Updated Capital Listing

Prj.No	Increased Service Needs Attributable to Anticipated Development	Category	Timing (year)	Gross Capital Cost Estimate (2018\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
								Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share 75%	Non-Residential Share 25%
	2018-2027											
24	Food Industry Planning Study											
24a	Food Industry Planning Study	Stormwater Drainage and Control Services	2019	10,000	-	1,000	9,000	4,500		4,500	3,375	1,125
24b	Food Industry Planning Study	Wastewater Services	2019	10,000	-	1,000	9,000	4,500		4,500	3,375	1,125
24c	Food Industry Planning Study	Water Services	2019	10,000	-	1,000	9,000	4,500		4,500	3,375	1,125
24d	Food Industry Planning Study	Services Related to a Highway	2019	10,000	-	1,000	9,000	4,500		4,500	3,375	1,125
24e	Food Industry Planning Study	Fire Protection Services	2019	5,000	-	500	4,500	2,250		2,250	1,688	563
24f	Food Industry Planning Study	Parks and Recreation Services	2019	2,500	-	250	2,250	1,125		1,125	844	281
24g	Food Industry Planning Study	Library Services	2019	2,500	-	250	2,250	1,125		1,125	844	281
	Sub-Total			50,000	-	5,000	45,000	22,500	-	22,500	16,875	5,625
25	Parks, Recreation, and Culture Master Plan	Parks and Recreation Services	2018	219,900	-		219,900	54,975		164,925	123,694	41,231
26	Employment Lands Study											
26a	Employment Lands Study	Stormwater Drainage and Control Services	2018	14,000	-	1,400	12,600	-		12,600	9,450	3,150
26b	Employment Lands Study	Wastewater Services	2018	14,000	-	1,400	12,600	-		12,600	9,450	3,150
26c	Employment Lands Study	Water Services	2018	14,000	-	1,400	12,600	-		12,600	9,450	3,150
26d	Employment Lands Study	Services Related to a Highway	2018	14,000	-	1,400	12,600	-		12,600	9,450	3,150
26e	Employment Lands Study	Fire Protection Services	2018	7,000	-	700	6,300	-		6,300	4,725	1,575
26f	Employment Lands Study	Parks and Recreation Services	2018	3,500	-	350	3,150	-		3,150	2,363	788
26g	Employment Lands Study	Library Services	2018	3,500	-	350	3,150	-		3,150	2,363	788
	Sub-Total			70,000	-	7,000	63,000	-	-	63,000	47,250	15,750
27	Transit Study	Services related to a highway	2017-2019	100,000	-		100,000	50,000		50,000	37,500	12,500
28	Storm Water Management Facility Service Program	Stormwater Drainage and Control Services	2019	120,000	-		120,000	36,000		84,000	63,000	21,000



Figure 4-7 Continued
Town of Lincoln
Growth Studies – Updated Capital Listing

Prj.No	Increased Service Needs Attributable to Anticipated Development	Category	Timing (year)	Gross Capital Cost Estimate (2018\$)	Post Period Benefit	Other Deductions	Net Capital Cost	Less:		Potential D.C. Recoverable Cost		
								Benefit to Existing Development	Grants, Subsidies and Other Contributions Attributable to New Development	Total	Residential Share	Non-Residential Share
	2018-2027									75%	25%	
29	Beamsville High School Lands Secondary Plan											
29a	Beamsville High School Lands Secondary Plan	Stormwater Drainage and Control Services	2019-2021	24,500	-	2,450	22,050	-		22,050	16,538	5,513
29b	Beamsville High School Lands Secondary Plan	Wastewater Services	2019-2021	24,500	-	2,450	22,050	-		22,050	16,538	5,513
29c	Beamsville High School Lands Secondary Plan	Water Services	2019-2021	24,500	-	2,450	22,050	-		22,050	16,538	5,513
29d	Beamsville High School Lands Secondary Plan	Services Related to a Highway	2019-2021	24,500	-	2,450	22,050	-		22,050	16,538	5,513
29e	Beamsville High School Lands Secondary Plan	Fire Protection Services	2019-2021	12,300	-	1,230	11,070	-		11,070	8,303	2,768
29f	Beamsville High School Lands Secondary Plan	Parks and Recreation Services	2019-2021	6,100	-	610	5,490	-		5,490	4,118	1,373
29g	Beamsville High School Lands Secondary Plan	Library Services	2019-2021	6,100	-	610	5,490	-		5,490	4,118	1,373
	Sub-Total			122,500	-	12,250	110,250	-	-	110,250	82,688	27,563
30	Financial Sustainability Plan											
30a	Financial Sustainability Plan	Stormwater Drainage and Control Services	2018	5,000	-	500	4,500	-		4,500	3,375	1,125
30b	Financial Sustainability Plan	Wastewater Services	2018	5,000	-	500	4,500	-		4,500	3,375	1,125
30c	Financial Sustainability Plan	Water Services	2018	5,000	-	500	4,500	-		4,500	3,375	1,125
30d	Financial Sustainability Plan	Services Related to a Highway	2018	5,000	-	500	4,500	-		4,500	3,375	1,125
30e	Financial Sustainability Plan	Fire Protection Services	2018	2,400	-	240	2,160	-		2,160	1,620	540
30f	Financial Sustainability Plan	Parks and Recreation Services	2018	1,300	-	130	1,170	-		1,170	878	293
30g	Financial Sustainability Plan	Library Services	2018	1,300	-	130	1,170	-		1,170	878	293
	Sub-Total			25,000	-	2,500	22,500	-	-	22,500	16,875	5,625
31	Stormwater Fee Study	Stormwater Drainage and Control Services	2019-2020	75,000	-		75,000	18,750		56,250	42,188	14,063
32	Provision for Growth Studies											
32a	Provision for Growth Studies	Stormwater Drainage and Control Services	2018-2023	15,000	-		15,000	-		15,000	11,250	3,750
32b	Provision for Growth Studies	Wastewater Services	2018-2023	15,000	-		15,000	-		15,000	11,250	3,750
32c	Provision for Growth Studies	Water Services	2018-2023	15,000	-		15,000	-		15,000	11,250	3,750
32d	Provision for Growth Studies	Services Related to a Highway	2018-2023	15,000	-		15,000	-		15,000	11,250	3,750
32e	Provision for Growth Studies	Fire Protection Services	2018-2023	7,400	-		7,400	-		7,400	5,550	1,850
32f	Provision for Growth Studies	Parks and Recreation Services	2018-2023	3,800	-		3,800	-		3,800	2,850	950
32g	Provision for Growth Studies	Library Services	2018-2023	3,800	-		3,800	-		3,800	2,850	950
	Sub-Total			75,000	-	-	75,000	-	-	75,000	56,250	18,750
33	Reserve Fund Adjustment			-	-		-	43,086		(43,086)	(32,314)	(10,771)
	Total			3,154,700	-	105,570	3,049,130	614,793	-	2,434,337	1,825,753	608,584



4.6 D.C. By-law Revised Schedule of Charges

4.6.1 Updated D.C. Calculation (2018\$)

Figures 4-8 and 4-9 provide the calculations for the proposed D.C. to be imposed on anticipated development in the Town for services over the various forecast periods. These calculations are based on the changes described earlier in this chapter.

The approach to the calculations provided herein is the same as was provided for in the 2018 D.C. Study. For the residential calculations, the total cost is divided by the “gross” (new resident) population to determine the per capita amount. The eligible D.C. cost calculations set out in Figures 4-1 to 4-7 are based on the net anticipated population increase. The cost per capita is then multiplied by the average occupancy of the new units to calculate the charge. With respect to non-residential development, the total costs allocated to non-residential development (based on need for service) have been divided by the anticipated gross floor area of development over the planning periods to calculate costs per sq.ft. of gross floor area for each service/class of service.



Figure 4-8
Town of Lincoln
Municipal-wide D.C. Calculations
Urban Buildout

SERVICE/CLASS OF SERVICE	2018\$ D.C.-Eligible Cost		2018\$ D.C.-Eligible Cost		2018\$ D.C.-Eligible Cost			2018\$ D.C.-Eligible Cost		
	Residential	Non-Residential	SDU	per ft²	Commercial	Industrial	Institutional	Commercial	Industrial	Institutional
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
1. <u>Stormwater Drainage</u>										
1.1 Channels, drainage and ponds	3,773,912	3,625,915	1,578	2.04	\$2,182,225	\$769,134	\$674,557	2.81	1.16	1.98
	3,773,912	3,625,915	1,578	2.04	\$2,182,225	\$769,134	\$674,557	2.81	1.16	1.98
2. <u>Wastewater Services</u>										
2.1 Sewers	5,701,411	2,328,745	2,383	1.31	\$1,401,535	\$493,976	\$433,234	1.81	0.75	1.28
	5,701,411	2,328,745	2,383	1.31	\$1,401,535	\$493,976	\$433,234	1.81	0.75	1.28
3. <u>Water Services</u>										
3.1 <u>Distribution systems</u>	2,534,110	1,035,059	1,060	0.58	\$622,941	\$219,558	\$192,560	0.80	0.33	0.57
	2,534,110	1,035,059	1,060	0.58	\$622,941	\$219,558	\$192,560	0.80	0.33	0.57
TOTAL	\$12,009,432	\$6,989,719	\$5,021	\$3.93	\$4,206,701	\$1,482,668	\$1,300,351	\$5.42	\$2.24	\$3.83
D.C.-Eligible Capital Cost	\$12,009,432	\$6,989,719			\$4,206,701	\$1,482,668	\$1,300,351			
Buildout Gross Population/GFA Growth (sq.ft.)	7,104	1,778,800			776,300	663,000	339,500			
Cost Per Capita/Non-Residential GFA (sq.ft.)	\$1,690.52	\$3.93			\$5.42	\$2.24	\$3.83			
<u>By Residential Unit Type</u>										
Single and Semi-Detached Dwelling				<u>P.P.U.</u>						
Apartments - 2 Bedrooms +				2.97	\$5,021					
Apartments - Bachelor and 1 Bedroom				2.00	\$3,381					
Other Multiples				1.22	\$2,062					
Special Care/Special Dwelling Units				2.40	\$4,057					
				1.00	\$1,691					



**Figure 4-9
Town of Lincoln
Municipal-wide D.C. Calculations
10-Year**

SERVICE/CLASS OF SERVICE	2018\$ D.C.-Eligible Cost		2018\$ D.C.-Eligible Cost		2018\$ D.C.-Eligible Cost			2018\$ D.C.-Eligible Cost		
	Residential	Non-Residential	SDU	per ft ²	Commercial	Industrial	Institutional	Commercial	Industrial	Institutional
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
6. Parking Services										
6.1 Parking Services	110,466	36,822	88	0.05	\$28,165	\$949	\$7,708	0.06	0.03	0.04
	110,466	36,822	88	0.05	28,165	949	7,708	0.06	0.03	0.04
7. Parks and Recreation Services										
7.1 Parkland development, amenities, trails, & vehicles	4,507,189	237,220	3,604	0.34	\$181,449	\$6,112	\$49,660	0.39	0.16	0.28
7.2 Recreation facilities	4,011,646	211,139	3,208	0.30	\$161,499	\$5,440	\$44,200	0.34	0.14	0.24
	8,518,835	448,360	6,812	0.64	342,948	11,552	93,860	0.73	0.30	0.52
8. Library Services										
8.1 Library facilities	432,086	22,741	346	0.03	\$17,395	\$586	\$4,761	0.04	0.02	0.03
8.2 Library materials	161,500	8,500	129	0.01	\$6,502	\$219	\$1,779	0.01	0.01	0.01
	593,586	31,241	475	0.04	23,896	805	6,540	0.05	0.03	0.04
9. Growth Studies										
9.1 Stormwater Drainage and Control Services	477,015	159,005	381	0.23	\$121,622	\$4,097	\$33,286	0.26	0.11	0.18
9.2 Wastewater Services	361,777	120,592	289	0.18	\$92,241	\$3,107	\$25,245	0.19	0.08	0.14
9.3 Water Services	128,640	42,880	104	0.06	\$32,799	\$1,105	\$8,976	0.07	0.03	0.05
9.4 Services Related to a Highway	547,777	182,592	438	0.27	\$139,664	\$4,704	\$38,224	0.29	0.12	0.20
9.5 Fire Protection Services	53,582	17,861	43	0.03	\$13,662	\$460	\$3,739	0.03	0.01	0.02
9.6 Parks and Recreation Services	231,691	77,230	185	0.11	\$59,073	\$1,990	\$16,167	0.12	0.05	0.09
9.7 Library Services	25,272	8,424	20	0.01	\$6,443	\$217	\$1,763	0.01	0.01	0.01
	1,825,753	608,584	1,460	0.89	465,503	15,680	127,401	0.97	0.41	0.69
TOTAL	\$11,048,639	\$1,125,007	\$8,835	\$1.62	\$860,512.85	\$28,985.70	\$235,508.78	\$1.81	\$0.77	\$1.29
D.C.-Eligible Capital Cost	\$11,048,639	\$1,125,007			\$860,512.85	\$28,985.70	\$235,508.78			
10-Year Gross Population/GFA Growth (sq.ft.)	3,714	694,500			474,700	37,800	182,000			
Cost Per Capita/Non-Residential GFA (sq.ft.)	\$2,974.86	\$1.62			\$1.81	\$0.77	\$1.29			
By Residential Unit Type	P.P.U.									
Single and Semi-Detached Dwelling	2.97	\$8,835								
Apartments - 2 Bedrooms +	2.00	\$5,950								
Apartments - Bachelor and 1 Bedroom	1.22	\$3,629								
Other Multiples	2.40	\$7,140								
Special Care/Special Dwelling Units	1.00	\$2,975								



Figure 4-10 compares the existing and calculated single detached dwelling unit charges. Figure 4-11 compares the existing and calculated non-residential charges per square foot. Both these figures are presented in 2018 values.

Figure 4-10
Town of Lincoln
Comparison of Existing and Calculated
Residential Single Detached Development Charges
(2018\$)

Service	By-law 2018-93 (2018\$)	D.C. Update Calculations (2018\$)
Municipal Wide Services:		
Services Related to a Highway	8,366	8,366
Municipal Parking Spaces ¹	77	88
Fire Protection Services	1,379	1,379
Parks and Recreation Services ²	6,204	6,812
Library Services	457	475
Growth Studies ³	1,507	1,460
Total Municipal Wide Services	17,990	18,580
Urban Services:		
Stormwater Drainage	1,578	1,578
Wastewater Services	2,383	2,383
Water Services	652	1,060
Total Area Specific Services	4,613	5,021
Grand Total - Municipal + Urban	22,603	23,601
Campden Area Specific Services:		
Stormwater Drainage	12,903	12,903
Grand Total - Municipal + Campden	30,893	31,483

¹ Eligible until September 18, 2022

² Previously presented as two separate charges for Indoor and Outdoor Recreation Services

³ Previously presented as Administration



Figure 4-11
Town of Lincoln
Comparison of Existing and Calculated
Non-Residential Development Charges per Square Foot
(2018\$)

Service	By-law 2018-93 (2018\$)			D.C. Update Calculations (2018\$)		
	Commercial	Industrial	Institutional	Commercial	Industrial	Institutional
Municipal Wide Services:						
Services Related to a Highway	6.03	2.52	4.31	6.03	2.52	4.31
Municipal Parking Spaces ¹	0.05	0.02	0.04	0.06	0.03	0.04
Fire Protection Services	1.00	0.42	0.71	1.00	0.42	0.71
Parks and Recreation Services ²	0.66	0.27	0.46	0.73	0.30	0.52
Library Services	0.05	0.03	0.04	0.05	0.03	0.04
Growth Studies ³	1.01	0.43	0.72	0.97	0.41	0.69
Total Municipal Wide Services	8.80	3.69	6.28	8.84	3.71	6.31
Urban Services:						
Stormwater Drainage	2.81	1.16	1.98	2.81	1.16	1.98
Wastewater Services	1.81	0.75	1.28	1.81	0.75	1.28
Water Services	0.49	0.20	0.35	0.80	0.33	0.57
Total Area Specific Services	5.11	2.11	3.61	5.42	2.24	3.83
Grand Total - Municipal + Urban	13.91	5.80	9.89	14.26	5.95	10.14
Campden Area Specific Services:						
Stormwater Drainage	-	-	-	-	-	-
Grand Total - Municipal + Campden	8.80	3.69	6.28	8.84	3.71	6.31

¹ Eligible until September 18, 2022

² Previously presented as two separate charges for Indoor and Outdoor Recreation Services

³ Previously presented as Administration

Based on the information provided in Figures 4-10 and 4-11, the Town's D.C. rates (2018\$) are summarized below:

- Municipal-wide D.C.s (including the urban services):
 - Single Detached D.C.s to increase from \$22,603 to \$23,601 per unit
 - Commercial D.C.s to increase from \$13.91 to \$14.26
 - Industrial D.C.s to increase from \$5.80 to \$5.95
 - Institutional D.C.s to increase from \$9.89 to \$10.14
- For developments within the Campden area, the D.C.s (including the municipal-wide services) are calculated as follows:
 - Single Detached D.C.s to increase from \$30,893 to \$31,483 per unit
 - Commercial D.C.s to increase from \$8.80 to \$8.84
 - Industrial D.C.s to increase from \$3.69 to \$3.71
 - Institutional D.C.s to increase from \$6.28 to \$6.31



4.6.2 Revised D.C. Rates (2018\$ and 2022\$)

Figure 4-12 provides for the updated Municipal-wide D.C.s in 2018 values, as the study was originally completed in 2018. This figure would be included as the amending schedule to the D.C. by-law. Figure 4-13 provides for the indexed 2022 values as the Town's current D.C.s have been indexed by 24.1% since the original passage of by-law 2018-93.



Figure 4-12
Town of Lincoln
Updated Development Charge Schedule (2018\$)

Service	RESIDENTIAL					NON-RESIDENTIAL (per sq.ft. of Gross Floor Area)			NON-RESIDENTIAL (per sq.m. of Gross Floor Area)		
	Single and Semi-Detached Dwelling	Other Multiples	Apartments - 2 Bedrooms +	Apartments - Bachelor and 1 Bedroom	Special Care/Special Dwelling Units	Commercial	Industrial	Institutional	Commercial	Industrial	Institutional
Municipal Wide Services:											
Services Related to a Highway	8,366	6,760	5,634	3,437	2,817	6.03	2.52	4.31	64.91	27.13	46.39
Municipal Parking Spaces ¹	88	71	59	36	30	0.06	0.03	0.04	0.65	0.32	0.43
Fire Protection Services	1,379	1,114	929	566	464	1.00	0.42	0.71	10.76	4.52	7.64
Parks and Recreation Services ²	6,812	5,505	4,587	2,798	2,294	0.73	0.30	0.52	7.86	3.23	5.60
Library Services	475	384	320	195	160	0.05	0.03	0.04	0.54	0.32	0.43
Growth Studies ³	1,460	1,180	983	600	492	0.97	0.41	0.69	10.44	4.41	7.43
Total Municipal-Wide Services	18,580	15,014	12,512	7,632	6,257	8.84	3.71	6.31	95.16	39.93	67.92
Urban Services											
Stormwater Drainage	1,578	1,275	1,063	648	531	2.81	1.16	1.98	30.25	12.49	21.31
Wastewater Services	2,383	1,926	1,605	979	802	1.81	0.75	1.28	19.48	8.07	13.78
Water Services	1,060	857	714	435	357	0.80	0.33	0.57	8.61	3.55	6.14
Total Urban Services	5,021	4,058	3,382	2,062	1,690	5.42	2.24	3.83	58.34	24.11	41.23
Campden Area-Specific											
Stormwater Drainage	12,903	10,427	8,689	5,300	4,344	-	-	-	-	-	-
GRAND TOTAL MUNICIPAL WIDE	18,580	15,014	12,512	7,632	6,257	8.84	3.71	6.31	95.16	39.93	67.92
GRAND TOTAL MUNICIPAL + URBAN	23,601	19,072	15,894	9,694	7,947	14.26	5.95	10.14	153.50	64.04	109.15
GRAND TOTAL MUNICIPAL + CAMPDEN	31,483	25,441	21,201	12,932	10,601	8.84	3.71	6.31	95.16	39.93	67.92

¹ Eligible until September 18, 2022

² Previously presented as two separate charges for Indoor and Outdoor Recreation Services

³ Previously presented as Administration



Figure 4-13
Town of Lincoln
Updated Development Charge Schedule (2022\$)

Service	RESIDENTIAL					NON-RESIDENTIAL (per sq.ft. of Gross Floor Area)			NON-RESIDENTIAL (per sq.m. of Gross Floor Area)		
	Single and Semi-Detached Dwelling	Other Multiples	Apartments - 2 Bedrooms +	Apartments - Bachelor and 1 Bedroom	Special Care/Special Dwelling Units	Commercial	Industrial	Institutional	Commercial	Industrial	Institutional
Municipal Wide Services:											
Services Related to a Highway	10,382	8,390	6,991	4,264	3,497	7.47	3.13	5.35	80.41	33.69	57.59
Municipal Parking Spaces ¹	109	88	73	45	37	0.07	0.04	0.05	0.75	0.43	0.54
Fire Protection Services	1,711	1,382	1,153	702	576	1.25	0.52	0.88	13.45	5.60	9.47
Parks and Recreation Services ²	8,456	6,833	5,694	3,473	2,847	0.91	0.37	0.65	9.80	3.98	7.00
Library Services	590	477	397	242	199	0.06	0.04	0.05	0.65	0.43	0.54
Growth Studies ³	1,812	1,465	1,220	745	611	1.20	0.51	0.86	12.92	5.49	9.26
Total Municipal-Wide Services	23,060	18,635	15,528	9,471	7,767	10.96	4.61	7.84	117.98	49.62	84.40
Urban Services											
Stormwater Drainage	1,958	1,583	1,320	804	658	3.49	1.44	2.45	37.57	15.50	26.37
Wastewater Services	2,958	2,390	1,992	1,215	996	2.25	0.92	1.58	24.22	9.90	17.01
Water Services	1,316	1,064	886	540	443	0.99	0.41	0.71	10.66	4.41	7.64
Total Urban Services	6,232	5,037	4,198	2,559	2,097	6.73	2.77	4.74	72.45	29.81	51.02
Campden Area-Specific											
Stormwater Drainage	16,013	12,939	10,782	6,577	5,391	-	-	-	-	-	-
GRAND TOTAL MUNICIPAL WIDE	23,060	18,635	15,528	9,471	7,767	10.96	4.61	7.84	117.98	49.62	84.40
GRAND TOTAL MUNICIPAL + URBAN	29,292	23,672	19,726	12,030	9,864	17.69	7.38	12.58	190.43	79.43	135.42
GRAND TOTAL MUNICIPAL + CAMPDEN	39,073	31,574	26,310	16,048	13,158	10.96	4.61	7.84	117.98	49.62	84.40

¹ Eligible until September 18, 2022

² Previously presented as two separate charges for Indoor and Outdoor Recreation Services

³ Previously presented as Administration



Chapter 5

Updates to the D.C. By-law



5. Updates to the D.C. By-law

As summarized in Chapter 2, the D.C. by-law will require several updates to conform with the D.C.A., as amended.

With respect to the “Time of Payment of Development Charges” section of the by-law, the following refinements are to be included:

- Six equal annual D.C. payments commencing at occupancy for Rental Housing and Institutional Developments;
- Non-profit Housing Developments will be allowed to pay their D.C.s in 21 equal annual payments; and
- The D.C. amount for all developments occurring within 2 years of a site plan or zoning by-law amendment planning approval (for applications submitted after January 1, 2020) shall be determined based on the D.C. in effect on the day of the site plan or zoning by-law amendment application.

Instalment payments and payments determined at the time of site plan or zoning by-law amendment application are subject to annual interest charges. The interest rate will be based on the Town’s D.C. Interest Policy. This policy may be amended from time to time.

For the purposes of administering the by-law, the following definitions are provided as per O. Reg. 454-19:

“Rental housing” means development of a building or structure with four or more dwelling units all of which are intended for use as rented residential premises.

“Institutional development” means development of a building or structure intended for use,

- a) as a long-term care home within the meaning of Subsection 2 (1) of the *Long-Term Care Homes Act, 2007*;
- b) as a retirement home within the meaning of Subsection 2 (1) of the *Retirement Homes Act, 2010*;
- c) by any of the following post-secondary institutions for the objects of the institution:



- i. a university in Ontario that receives direct, regular, and ongoing operating funding from the Government of Ontario,
 - ii. a college or university federated or affiliated with a university described in subclause (i), or
 - iii. an Indigenous Institute prescribed for the purposes of Section 6 of the *Indigenous Institutes Act, 2017*;
- d) as a memorial home, clubhouse, or athletic grounds by an Ontario branch of the Royal Canadian Legion; or
- e) as a hospice to provide end of life care.

“Non-profit Housing Development” means development of a building or structure intended for use as residential premises by,

- a) a corporation to which the *Not-for-Profit Corporations Act, 2010* applies, that is in good standing under that Act and whose primary object is to provide housing;
- b) a corporation without share capital to which the *Canada Not-for-profit Corporations Act* applies, that is in good standing under that Act and whose primary object is to provide housing; or
- c) a non-profit housing co-operative that is in good standing under the *Co-operative Corporations Act*, or any successor legislation.

In addition to the changes provided above, the following definition for “Class” will be provided:

“Class” means a grouping of services combined to create a single service for the purposes of this by-law and as provided in section 7 of the *Development Charges Act*.

With respect to exemptions, the following will be included as per O.Reg. 454-19 and Bill 213.

O. Reg. 454-19:

No development charge shall be payable where the development:



- is limited to the creation of an additional dwelling unit as prescribed, in prescribed classes of new residential buildings as set out in the Regulations to the *Development Charges Act, 1997*; and
- is limited to the creation of an additional dwelling unit ancillary to a new dwelling unit in prescribed classes of new residential buildings as set out in the Regulations to the *Development Charges Act, 1997*.

Bill 213:

Land vested in or leased to a university that receives regular and ongoing operating funds from the government for the purposes of post-secondary education is exempt from development charges imposed under the *Development Charges Act, 1997* if the development in respect of which development charges would otherwise be payable is intended to be occupied and used by the university.



Chapter 6

Recommendations



6. Recommendations

It is recommended that Council:

“Approve the Development Charges Update Study dated March 1, 2022, as amended (if applicable)”;

“Approve the updated capital projects set out in Chapter 4 of the Development Charges Update Study dated March 1, 2022”;

“Determine that no further public meeting is required”; and

“Approve the Amending Development Charge By-law as set out in Appendix C”.



Appendix A

Existing Policies under By-law 2018-93



A-1: Existing Policies under By-law 2018-93

The following subsections set out the rules governing the calculation, payment and collection of D.C.s as provided in By-law 2018-93 as amended, in accordance with the D.C.A.

Development Charges Imposed

Subject to subsection (2), development charges shall be calculated and collected in accordance with the provisions of the by-law and be imposed on land to be developed for residential and non-residential uses, where, the development requires:

- a) the passing of a zoning by-law or of an amendment to a zoning by-law under section 34 of the *Planning Act*,
- b) the approval of a minor variance under section 45 of the *Planning Act*,
- c) a conveyance of land to which a by-law passed under section 50 (7) of the *Planning Act* applies;
- d) the approval of a plan of subdivision under section 51 of the *Planning Act*,
- e) a consent under section 53 of the *Planning Act*,
- f) the approval of a description under section 50 of the *Condominium Act*,
- g) the issuing of a building permit under the *Building Code Act* in relation to a building or structure.

Calculation of Development Charges

The development charge with respect to the uses of any land, building or structure shall be calculated as follows:

- a) The development charges described in the by-law shall be imposed on residential uses of lands, buildings or structures, including a dwelling unit accessory to a non-residential use and, in the case of a mixed-use building or structure, on the residential uses in the mixed use building or structure, including the residential portion of a live/work unit according to the type of residential unit,



and calculated with respect to each of the services according to the type of residential use;

- b) The development charges described in the by-law shall be imposed on non-residential uses of lands, buildings or structures, and, in the case of a mixed-use building or structure, on the non-residential uses in the mixed-use building or structure, including the non-residential component of a live/work unit, and calculated with respect to each of the services according to the gross floor area of the non-residential use.

Rules with Respect to Redevelopment

In the case of the re-development involving the demolition and replacement of all or part of a building or structure:

- (1) a credit shall be allowed, provided that the land was improved by occupied structures (or structures capable of occupancy) within the last five years prior to the issuance of the building permit, and the building permit has been issued for the development or redevelopment within five years from the date the demolition permit has been issued;
- (2) if a development or redevelopment involves the demolition of and replacement of a residential building or structure, a credit shall be allowed equivalent to the number of dwelling units demolished multiplied by the applicable residential development charge in place at the time the development charge is payable; and
- (3) if a development or redevelopment involves the demolition of a replacement of a non-residential building or structure, a credit shall be allowed equivalent to the gross floor area demolished multiplied by the applicable non-residential development charge in place at the time the development charge is payable.

provided that such amounts shall not exceed, in total, the amount of the D.C.s otherwise payable with respect to the redevelopment.

Exemptions (full or partial)

The following are exempted from D.C.s:

- Statutory exemptions



- a) Industrial building additions of up to and including 50% of the existing gross floor area (defined in O. Reg. 82/98, s. 1) of the building; for industrial building additions which exceed 50% of the existing gross floor area, only the portion of the addition in excess of 50% is subject to D.C.s (s. 4 (3)) of the D.C.A;
 - b) buildings or structures owned by and used for the purposes of any municipality, local board or Board of Education (s. 3); and
 - c) residential development that results only in the enlargement of an existing dwelling unit, or that results only in the creation of up to two additional dwelling units (based on prescribed limits set out in s.2 of O. Reg. 82/98).
- Non-statutory exemptions
 - lands, buildings or structures used or to be used for a place of worship or for the purposes of a cemetery or burial ground exempt from taxation under the Assessment Act R.S.O. 1990, c.A.31, as amended;
 - the development of non-residential farm buildings for farming activities;
 - The development of a farm help house;
 - Granny flats;
 - Parking structures, including underground parking garages;
 - Elevators and elevator machine rooms;
 - Temporary Uses in accordance with Section 1(60);
 - lands and buildings used for affordable housing projects that receive funding through an agreement with Niagara Regional Housing or a department or designated agency of the Niagara Region, provided that (i) this exemption shall only apply to that proportion or number of units in a development which are designated or identified as affordable housing and (ii) the owner of the lands continues to use the lands and buildings for affordable housing. If the owner ceases to use the proportionate share of the lands and buildings for affordable housing, the development charges exempted under this section shall become due and payable. The owner shall be required to enter into an agreement with the Region under section 27 of the Act respecting the timing and calculation of payment of development charges, notice of which the owner shall register on the title to the lands at its sole cost and expense with the intention that the provisions shall bind and run with title to the lands;



- canopies including gas station canopies and those intended for the parking and loading or unloading of vehicles.

Indexing

Development charges imposed pursuant to this by-law shall be adjusted annually, without amendment to this by-law, commencing on January 1, 2019 and each anniversary date thereafter, in accordance with the Statistics Canada Quarterly Construction Price Statistics.

Timing of Calculation and Payment

Development charges shall be calculated and be payable in full in money or by provision of services as may be agreed upon, or by credit granted under the Act, on the date that the first building permit is issued in relation to a building or structure on land to which a development charge applies.



Appendix B

Service Standards



TABLE B-1
SUMMARY OF SERVICE STANDARDS AS PER DEVELOPMENT CHARGES ACT, 1997, AS AMENDED FOR SERVICES REVISED IN THIS 2022 UPDATE

Service Category	Sub-Component	10 Year Average Service Standard					Maximum Ceiling LOS
		Cost (per capita)		Quantity (per capita)		Quality (per capita)	
Parking	Parking Spaces	\$43.19	0.0077	No. of spaces	5,609	per space	150,560
Parks and Recreation	Parkland Development	\$1,128.67	0.0098	Acres of Parkland	115,170	per acre	3,934,544
	Parks Vehicles and Equipment	\$50.92	0.0024	No. of vehicles and equipment	21,217	per vehicle	177,507
	Indoor Recreation Facilities	\$1,392.96	4.5915	ft ² of building area	303	per sq.ft.	4,855,859
Library	Library Facilities	\$235.05	0.5863	ft ² of building area	401	per sq.ft.	819,384
	Library Collection Materials	\$57.30	3.3099	No. of library collection items	17	per collection item	199,748



**Town of Lincoln
Service Standard Calculation Sheet**

Service: Parking Spaces
Unit Measure: No. of spaces

Description	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2018 Value (\$/space)
William F. Rannie Square (off of North Lane)	34	34	34	34	34	34	34	34	34	34	\$3,520
Bennett Hall (E of Bennett Hall - across the street from Medical Centre on Hixon Dr)	20	20	20	20	20	20	20	20	35	35	\$3,520
Victoria Ave/Tallman Drive, Vineland	21	21	21	21	21	21	21	21	21	21	\$3,520
21st Street, Jordan (Bailey Bridge)	60	60	60	60	60	60	60	60	60	60	\$3,520
King Street, Jordan Hollow	40	40	40	40	40	40	40	40	40	40	\$3,520
Jordan Fire Hall Parking Lot	8	8	8	8	8	8	8	8	8	8	\$3,520
Land (acres)											
Rannie Square	0.20	0.20	0.20	0.20	0.20	0.20	0.20	0.20	0.20	0.20	\$300,000
Bennet Hall	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	0.25	\$300,000
Vineland Fire Hall	0.11	0.11	0.11	0.11	0.11	0.11	0.11	0.11	0.11	0.11	\$300,000
Bailey Bridge	0.26	0.26	0.26	0.26	0.26	0.26	0.26	0.26	0.26	0.26	\$300,000
Jordan Hollow	0.38	0.38	0.38	0.38	0.38	0.38	0.38	0.38	0.38	0.38	\$300,000
Jordan Firehall (excluding staff parking)	0.12	0.12	0.12	0.12	0.12	0.12	0.12	0.12	0.12	0.12	\$300,000
Total	183	183	183	183	183	183	183	183	198	198	

Population	22,760	23,030	23,300	23,570	23,787	23,932	24,324	25,111	26,272	26,809
Per Capita Standard	0.0080	0.0079	0.0079	0.0078	0.0077	0.0076	0.0075	0.0073	0.0075	0.0074

10 Year Average	2012-2021
Quantity Standard	0.0077
Quality Standard	\$5,609
Service Standard	\$43

D.C. Amount (before deductions)	10 Year
Forecast Population	3,486
\$ per Capita	\$43
Eligible Amount	\$150,560



**Town of Lincoln
Service Standard Calculation Sheet**

Service: Parkland Development
Unit Measure: Acres of Parkland

Description	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2018 Value (\$/Acre)
Destination Park	24.80	24.80	24.80	24.80	24.80	24.80	24.80	24.80	24.80	24.80	\$132,600
Sports Park	59.70	59.70	59.70	59.70	59.70	59.70	59.70	59.70	59.70	59.70	\$132,600
Community Park	19.30	19.30	19.30	19.30	19.30	19.30	19.30	22.90	22.90	22.90	\$132,600
Neighbourhood Park	13.60	13.60	13.60	13.60	13.60	13.60	15.20	15.20	15.20	15.20	\$132,600
Natural Area	77.90	77.90	77.90	77.90	77.90	77.90	77.90	77.90	77.90	77.90	\$80,000
Open Space Linkage	32.70	33.50	40.00	40.00	40.00	40.00	40.60	40.60	40.80	40.80	\$132,600
Schools (Municipal Portion 33%)	1.97	1.97	1.97	1.97	3.30	3.30	3.30	3.30	3.30	3.30	\$66,300
Total	229.97	230.77	237.27	237.27	238.60	238.60	240.80	244.40	244.60	244.60	

Population	22,760	23,030	23,300	23,570	23,787	23,932	24,324	25,111	26,272	26,809
Per Capita Standard	0.0101	0.0100	0.0102	0.0101	0.0100	0.0100	0.0099	0.0097	0.0093	0.0091

10 Year Average	2012-2021
Quantity Standard	0.0098
Quality Standard	\$115,170
Service Standard	\$1,129

D.C. Amount (before deductions)	10 Year
Forecast Population	3,486
\$ per Capita	\$1,129
Eligible Amount	\$3,934,544



**Town of Lincoln
Service Standard Calculation Sheet**

Service: Parks Vehicles and Equipment
Unit Measure: No. of vehicles and equipment

Description	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2018 Value (\$/Vehicle)
100 gal. Watering System (Ea72)	1	1	1	1	1	1	1	1	1	1	\$4,300
Aerator (EA71)	1	1	1	1	1	1	1	1	1	1	\$6,900
Bannerman Ball Diamond groomer 2005 (EA35)	1	1	1	1	1	1	1	1	1	1	\$12,600
Bannerman Ball Diamond groomer 1999 (EA36)	1	1	1	1	1	1	1	1	1	1	\$17,400
Bannerman Ball Diamond painter	1	1	1	1	1	1	1	1	1	1	\$3,200
Bannerman Overseeder	1	1	1	1	1	1	1	1	1	1	\$17,800
Bannerman Top Dresser	1	1	1	1	1	1	1	1	1	1	\$14,200
Beach Groomer	1	1	-	-	-	-	-	-	-	-	\$42,900
Brush Chipper - Morbark 2003 (EM44)	1	1	1	1	1	1	1	1	1	1	\$45,300
Cargo Van - Ford + outfitting 2005(VV18)	1	1	1	1	1	1	1	1	1	1	\$51,000
Chainsaws	6	6	6	6	6	6	6	6	6	6	\$1,300
Excavator - Volvo	1	-	-	-	-	-	-	-	-	-	\$93,900
Forklift - JCB 2005 (EM43)	1	1	1	1	1	1	1	1	1	1	\$80,800
Gator ATV - John Deere 6x4 2000 (EL81)	1	-	-	-	-	-	-	-	-	-	\$21,500
Heavy Duty Pallet Truck	1	1	1	1	1	1	1	1	1	1	\$1,600
Hedge Trimmers	1	1	1	1	1	1	1	1	1	1	\$300
Ice Edger	2	2	2	2	2	2	2	2	2	2	\$4,000
Ice Resurfacer - Beamsville 2003 propane (EM35)	1	1	1	1	1	1	1	1	1	1	\$163,700
Ice Resurfacer - Jordan 2008 electric (EM47)	1	1	1	1	1	1	1	1	1	1	\$158,300
Ice Resurfacer - Spare	1	-	-	-	-	-	-	-	-	-	\$81,600
Leafblower	2	2	2	2	2	2	2	2	2	2	\$1,000
Pickup Truck - Chevy Silverado 2008 (VP25)	1	1	1	1	1	1	1	1	1	1	\$43,400



**Town of Lincoln
Service Standard Calculation Sheet**

Service: Parks Vehicles and Equipment
Unit Measure: No. of vehicles and equipment

Description	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2018 Value (\$/Vehicle)
Pickup Truck - Ford F 150 2014 (VP32)	-	-	1	1	1	1	1	1	1	1	\$35,900
Pickup Truck - Dodge 2007 (VP22)	1	1	1	1	1	1	1	1	1	1	\$35,900
Pickup Truck - Dodge 2012 (VP28)	1	1	1	1	1	1	1	1	1	1	\$35,900
Pickup Truck - Ford 2004 (VP14)	1	-	-	-	-	-	-	-	-	-	\$43,600
Pickup Truck - GMC Sierra 1500 (VP35)	1	1	1	1	1	1	1	1	1	1	\$35,900
Pickup Truck - GMC Sierra 1500 (VP36)	1	1	1	1	1	1	1	1	1	1	\$35,900
Polesaw	2	2	2	2	2	2	2	2	2	2	\$1,500
Pressure Washer	2	2	2	2	2	2	2	2	2	2	\$12,000
Progator-John Deere 2008 (EL82)	1	1	1	1	1	1	1	1	1	1	\$38,400
Push Mowers - 2	3	3	3	3	3	3	3	3	3	3	\$3,500
Riding Mower - John Deere	1	-	-	-	-	-	-	-	-	-	\$10,600
Riding Mower - Kubota 2WD 2008 (EL 14)	1	1	1	1	1	1	1	1	1	1	\$17,300
Riding Mower - Kubota 4WD 2000 (EL12)	1	-	-	-	-	-	-	-	-	-	\$38,000
Riding Mower - Kubota Zero Turn 2005 (EL13)	1	1	1	1	1	1	1	1	1	1	\$20,400
Rototiller	1	1	1	1	1	1	1	1	1	1	\$2,000
RTV - Kubota 2007 (EL16)	1	1	1	1	1	1	1	1	1	1	\$20,400
Sprayer - 50 gal	1	1	1	1	1	1	1	1	1	1	\$2,400
Tractor - Ford (ER 16)	1	1	1	1	1	1	1	1	1	1	\$35,700
Tractor - Massey Ferguson 2007 (ER75)	1	1	1	1	1	1	1	1	1	1	\$35,700
Tractor - Massey Ferguson 2007 (ER76)	1	1	1	1	1	1	1	1	1	1	\$35,700
Tractor - Massey Ferguson 2007 (ER77)	1	1	1	1	1	1	1	1	1	1	\$35,700
Trailer - Hitchman (Tent)	1	-	-	-	-	-	-	-	-	-	\$2,200



**Town of Lincoln
Service Standard Calculation Sheet**

Service: Parks Vehicles and Equipment
Unit Measure: No. of vehicles and equipment

Description	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2018 Value (\$/Vehicle)
Trailer - Hitchman 22' Tandem	1	-	-	-	-	-	-	-	-	-	\$9,200
Trailer - Wiscot 1997 (EA49)	1	1	1	1	1	1	1	1	1	1	\$2,000
Trailer - Wiscot-small Tandem	1	-	-	-	-	-	-	-	-	-	\$3,400
Watercannon	1	1	1	1	1	1	1	1	1	1	\$42,800
Weedeaters	6	6	6	6	6	6	6	6	6	6	\$1,100
M.F. Mower-2013 (EL83)	-	1	1	1	1	1	1	1	1	1	\$14,700
Kubota RTV-2015 (EL84)	-	-	-	1	1	1	1	1	1	1	\$15,500
Kubota Mower-2016 (EL85)	-	-	-	-	1	1	1	1	1	1	\$29,100
Utility Trailer (EA76)	-	-	-	-	1	1	1	1	1	1	\$2,000
Gang Mower -2106 (EA77)	-	-	-	-	1	1	1	1	1	1	\$12,100
Total	64	56	56	57	60	60	60	60	60	60	

Population	22,760	23,030	23,300	23,570	23,787	23,932	24,324	25,111	26,272	26,809
Per Capita Standard	0.0028	0.0024	0.0024	0.0024	0.0025	0.0025	0.0025	0.0024	0.0023	0.0022

10 Year Average	2012-2021
Quantity Standard	0.0024
Quality Standard	\$21,217
Service Standard	\$51

D.C. Amount (before deductions)	10 Year
Forecast Population	3,486
\$ per Capita	\$51
Eligible Amount	\$177,507



**Town of Lincoln
Service Standard Calculation Sheet**

Service: Indoor Recreation Facilities
Unit Measure: ft² of building area

Description	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2018 Bld'g Value (\$/sq.ft.)	Value/ft² with land, site works, etc.
Beamsville Arena	24,600	24,600	-	-	-	-	-	-	-	-	\$211	\$254
Jordan Arena	30,400	30,400	30,400	30,400	30,400	30,400	30,400	30,400	30,400	30,400	\$249	\$296
Lincoln Centre	7,400	7,400	7,400	7,400	7,400	7,400	7,400	7,400	7,400	7,400	\$307	\$360
Bennett Hall	4,600	4,600	4,600	4,600	4,600	4,600	4,600	4,600	4,600	4,600	\$223	\$267
Howard House	2,120	2,120	2,120	2,120	2,120	2,120	2,120	2,120	2,120	2,120	\$224	\$268
Fleming Memorial Arena /Centre			57,000	57,000	57,000	57,000	57,000	57,000	57,000	57,000	\$288	\$339
Outdoor Pool-Beamsville	5,591	5,591	5,591	5,591	5,591	5,591	5,591	5,591	5,591	5,591	\$158	\$196
Outdoor Pool-Jordan	5,027	5,027	5,027	5,027	5,027	5,027	5,027	5,027	5,027	5,027	\$158	\$196
Beam St. Facility			5,758	5,758	5,758	5,758	5,758	5,758	5,758	5,758	\$225	\$270
Community Services Office Space (Beamsville)	1,400	1,400	1,400	1,400	1,400	1,400	1,400	1,400	1,400	1,400	\$250	\$300
Total	81,138	81,138	119,296	119,296	119,296	119,296	119,296	119,296	119,296	119,296		

Population	22,760	23,030	23,300	23,570	23,787	23,932	24,324	25,111	26,272	26,809
Per Capita Standard	3.5649	3.5231	5.1200	5.0613	5.0152	4.9848	4.9045	4.7507	4.5408	4.4498

10 Year Average	2012-2021
Quantity Standard	4.5915
Quality Standard	\$303
Service Standard	\$1,393

D.C. Amount (before deductions)	10 Year
Forecast Population	3,486
\$ per Capita	\$1,393
Eligible Amount	\$4,855,859



**Town of Lincoln
Service Standard Calculation Sheet**

Service: Library Facilities
Unit Measure: ft² of building area

Description	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2018 Bld'g Value (\$/sq.ft.)	Value/ft ² with land, site works, etc.
Beam St. Facility	5,758	5,758	-	-	-	-	-	-	-	-	\$225	\$293
Moses F. Rittenhouse	5,100	5,100	5,100	5,100	5,100	5,100	5,100	5,100	5,100	5,100	\$432	\$544
Fleming Branch			10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	\$251	\$325
Total	10,858	10,858	15,100	15,100	15,100	15,100	15,100	15,100	15,100	15,100		

Population	22,760	23,030	23,300	23,570	23,787	23,932	24,324	25,111	26,272	26,809
Per Capita Standard	0.4771	0.4715	0.6481	0.6406	0.6348	0.6310	0.6208	0.6013	0.5748	0.5632

10 Year Average	2012-2021
Quantity Standard	0.5863
Quality Standard	\$401
Service Standard	\$235

D.C. Amount (before deductions)	10 Year
Forecast Population	3,486
\$ per Capita	\$235
Eligible Amount	\$819,384



**Town of Lincoln
Service Standard Calculation Sheet**

Service: Library Collection Materials
Unit Measure: No. of library collection items

Description	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2018 Value (\$/item)
Collections*	82,446	78,234	77,067	82,418	76,671	76,671	76,671	78,870	86,861	86,861	\$16.48
Electronic Collection	1	1	1	1	1	1	1	1	1	1	\$45,000
Public Computers	15	15	19	19	19	19	19	19	29	29	\$1,100
Total	82,462	78,250	77,087	82,438	76,691	76,691	76,691	78,890	86,891	86,891	

*Cost per item includes all physical materials including hard cover books, paperbacks, DVDs, CDs and talking books.

Population	22,760	23,030	23,300	23,570	23,787	23,932	24,324	25,111	26,272	26,809
Per Capita Standard	3.62	3.40	3.31	3.50	3.22	3.20	3.15	3.14	3.31	3.24

10 Year Average	2012-2021
Quantity Standard	3.3099
Quality Standard	\$17
Service Standard	\$57

D.C. Amount (before deductions)	10 Year
Forecast Population	3,486
\$ per Capita	\$57
Eligible Amount	\$199,748



Appendix C

Draft Amending Development Charge By-law



Town of Lincoln

By-law Number _____

**Being a By-law of the Town of Lincoln to Amend By-law 2018-93 Respecting
Development Charges**

Whereas the Town of Lincoln (the “Town”) enacted By-law 2018-93 pursuant to the *Development Charges Act, 1997*, S.O. 1997, c. 27, as amended (the “Act”), which Act authorizes Council to pass By-laws for the imposition of development charges against land;

And Whereas the Town has undertaken a study pursuant to the Act which has provided updated Schedules to By-law 2018-93;

And Whereas the Council of the Town of Lincoln (“Council”) has before it a report entitled “Town of Lincoln 2022 Development Charge Update Study” prepared by Watson & Associates Economists Ltd., dated March 1, 2022 (the “update study”);

And Whereas the update study and proposed amending By-law were made available to the public on March 1, 2022 and Council gave notice to the public pursuant to Section 12 of the Act.

And Whereas Council, on March 28, 2022 held a meeting open to the public, pursuant to Section 12 of the Act, at which Council considered the study, and written and oral submissions from the public;

NOW THEREFORE Council hereby enacts as follows:

1. By-law 2018-93 is hereby amended as follows:

A. Addition of Class to the definitions in Section 1 as follows:

“Class” means a grouping of services combined to create a single service for the purposes of this By-law and as provided in Section 7 of the Development Charges Act.

B. Addition of Institutional Development to definitions in Section 1 as follows:

“Institutional Development” means development of a building or structure intended for use:



- (i) as a long-term care home within the meaning of Subsection 2 (1) of the *Long-Term Care Homes Act, 2007*;
- (ii) as a retirement home within the meaning of Subsection 2 (1) of the *Retirement Homes Act, 2010*;
- (iii) by any of the following post-secondary institutions for the objects of the institution:
 - 1. a university in Ontario that receives direct, regular, and ongoing operating funding from the Government of Ontario,
 - 2. a college or university federated or affiliated with a university described in subclause (1), or
 - 3. an Indigenous Institute prescribed for the purposes of Section 6 of the *Indigenous Institutes Act, 2017*;

C. Addition of Interest Rate to the definitions in Section 1 as follows:

“Interest Rate” means the annual rate of interest calculated as per the Town’s D.C. Interest Policy as may be revised from time to time.

D. Addition of Non-profit Housing Development to the definitions in Section 1 as follows:

“Non-profit Housing Development” means development of a building or structure intended for use as residential premises by,

- (i) a corporation to which the *Not-for-Profit Corporations Act, 2010* applies, that is in good standing under that Act and whose primary object is to provide housing;
- (ii) a corporation without share capital to which the *Canada Not-for-profit Corporations Act* applies, that is in good standing under that Act and whose primary object is to provide housing; or
- (iii) a non-profit housing co-operative that is in good standing under the *Co-operative Corporations Act*, or any successor legislation.

E. Addition of Rental Housing to the definitions in Section 1 as follows:



“Rental Housing” means development of a building or structure with four or more dwelling units all of which are intended for use as rented residential premises;

F. Replace Section 2.0 titled “Designation of Services,” with the following:

Designation of Services/Class of Services

G. Replace Section 2.1 to read as follows:

The categories of services/class of services for which development charges are imposed under this by-law are as follows:

- (a) Services related to a highway;
- (b) Fire protection services;
- (c) Parks and recreation services;
- (d) Parking services (until September 18, 2022);
- (e) Library services;
- (f) Growth studies;
- (g) Stormwater drainage and control services;
- (h) Wastewater services;
- (i) Water services; and
- (j) Stormwater management (Campden).

H. Replace Section 2.2 with the following:

Components of the services/class of services designated in Subsection 2.1 are described in Schedule “A”.

I. Addition to the following university exemption to Section 3.5:

New bullet (k) Land vested in or leased to a university that receives regular and ongoing operating funds from the government for the purposes of post-secondary education is exempt from development charges



imposed under the *Development Charges Act, 1997* if the development in respect of which development charges would otherwise be payable is intended to be occupied and used by the university.

J. Relabel Section 3.5 (i) that states “*the issuance of a building permit in accordance with Section 2(3) of the Act if the only effect of the action is to:*” to letter (l).

K. Addition of the following exemptions with respect to new residential buildings:

New bullet (m) the issuance of a building permit in accordance with Section 2(3) of the Act if the only effect of the action is to:

i. permit the creation of a second dwelling unit in prescribed classes of proposed new residential buildings, including residential dwelling structures ancillary to dwellings, subject to the restrictions set out in Table 2:

Table 2
Maximum Number of Additional Dwelling Units in New Residential Buildings

Item	Name of Class of Proposed New Residential Buildings	Description of Class of Proposed New Residential Buildings	Restrictions
1	Proposed new detached dwellings	Proposed new residential buildings that would not be attached to other buildings and that are permitted to contain a second dwelling unit, that being either of the two dwelling units, if the units have the same gross floor area, or the smaller of the dwelling units.	The proposed new detached dwelling must only contain two dwelling units. The proposed new detached dwelling must be located on a parcel of land on which no other detached dwelling, semi-detached dwelling or row dwelling would be located.
2	Proposed new semi-detached dwellings or row dwellings	Proposed new residential buildings that would have one or two vertical walls, but no other parts, attached to other buildings and that are permitted to contain a second dwelling unit, that being either of the two dwelling units, if the units have the same gross floor area, or the smaller of the dwelling units.	The proposed new semi-detached dwelling or row dwelling must only contain two dwelling units. The proposed new semi-detached dwelling or row dwelling must be located on a parcel of land on which no other detached dwelling, semi-detached dwelling or row dwelling would be located.
3	Proposed new residential buildings that would be ancillary to a proposed new detached dwelling, semi-detached dwelling or row dwelling	Proposed new residential buildings that would be ancillary to a proposed new detached dwelling, semi-detached dwelling or row dwelling and that are permitted to contain a single dwelling unit.	The proposed new detached dwelling, semi-detached dwelling or row dwelling, to which the proposed new residential building would be ancillary, must only contain one dwelling unit. The gross floor area of the dwelling unit in the proposed new residential building must be equal to or less than the gross floor area of the detached dwelling, semi-detached dwelling or row dwelling to which the proposed new residential building is ancillary.



- L. Addition of policies related to the timing of development charges payments. These will be included after Section 3.15 of the development charges by-law:

New Sections:

- (3.16) Notwithstanding sections 3.12 to 3.14, Development Charges for Rental Housing and Institutional Developments are due and payable in six equal annual instalment payments commencing with the first instalment payable on the date of occupancy, and each subsequent instalment, including interest as per the Town's D.C. Interest Policy, payable on the anniversary date each year thereafter.
- (3.17) Notwithstanding Sections 3.12 to 3.14, Development Charges for Non-profit Housing Developments are due and payable in 21 equal annual instalment payments commencing with the first instalment payable on the date of occupancy, and each subsequent instalment, including interest as per the Town's D.C. Interest policy, payable on the anniversary date each year thereafter.
- (3.18) Where the development of land results from the approval of a site plan or zoning by-law amendment application received on or after January 1, 2020, and the approval of the application occurred within two years of building permit issuance, the development charges under sections 3.6 and 3.7 shall be calculated on the rates set out in Schedule "B" on the date of the planning application, including interest. Where both planning applications apply development charges under sections 3.6 and 3.7 shall be calculated on the rates payable on the anniversary date each year thereafter, set out in Schedule "B" on the date of the later planning application, including interest as provided in the Town's D.C. Interest Policy.

- M. Renumber Section 3.16 and 3.17 to 3.19 and 3.20, respectively.

- N. Replace Section 7.1 Schedule "A" description as follows:

Schedule "A" Components of Services/Class of Services Designated in Subsection 2.1



- O. Schedule "A" is deleted, and the attached Schedule "A" is substituted, therefore.
 - P. Schedule "B" is deleted, and the attached Schedule "B" is substituted, therefore.
2. This By-law shall come into force and effect at 12:01AM on May 2, 2022.
 3. Except as amended by this By-law, all provisions of By-law 2018-93 are and shall remain in full force and effect.

By-law read a first and second time this 2nd day of May, 2022.

By-law read a third time and finally passed this 2nd day of May, 2022.

Mayor: _____

Clerk: _____



**SCHEDULE “A”
TO BY-LAW NO. 2018-93
DESIGNATED MUNICIPAL SERVICES/CLASSES OF SERVICES UNDER THIS
BY-LAW**

Town-Wide Services/Classes of Services

- Services Related to a Highway
 - Roads and Related
 - Public Works Facilities, Vehicles and Equipment
- Fire Protection Services
 - Fire Facilities
 - Fire Vehicles
 - Fire Small Equipment & Gear
- Parking Services
 - Parking Spaces
- Library Services
 - Library Facilities
 - Collection Materials
- Parks and Recreation Services
 - Parkland Development
 - Park Vehicles and Equipment
 - Recreation Facilities
- Growth Studies

Urban Area Services (Beamsville, Vineland, Jordan, Jordan Station, and Prudhommes)

- Water Services
 - Distribution Systems
- Wastewater Services
 - Collection Systems
- Stormwater Services
 - Channels and Drainage

Area-Specific Services (Campden)

- Stormwater Drainage



SCHEDULE "B"
TO BY-LAW NO. 2018-93
RESIDENTIAL AND NON-RESIDENTIAL D.C. RATES

Service	RESIDENTIAL					NON-RESIDENTIAL (per sq.m. of Gross Floor Area)		
	Single and Semi-Detached Dwelling	Other Multiples	Apartments - 2 Bedrooms +	Apartments - Bachelor and 1 Bedroom	Special Care/Special Dwelling Units	Commercial	Industrial	Institutional
Municipal Wide Services:								
Services Related to a Highway	8,366	6,760	5,634	3,437	2,817	64.91	27.13	46.39
Fire Protection Services	1,379	1,114	929	566	464	10.76	4.52	7.64
Parks and Recreation Services	6,812	5,505	4,587	2,798	2,294	7.86	3.23	5.60
Library Services	475	384	320	195	160	0.54	0.32	0.43
Growth Studies	1,460	1,180	983	600	492	10.44	4.41	7.43
Total Municipal-Wide Services	18,492	14,943	12,453	7,596	6,227	94.51	39.61	67.49
Urban Services								
Stormwater Drainage	1,578	1,275	1,063	648	531	30.25	12.49	21.31
Wastewater Services	2,383	1,926	1,605	979	802	19.48	8.07	13.78
Water Services	1,060	857	714	435	357	8.61	3.55	6.14
Total Urban Services	5,021	4,058	3,382	2,062	1,690	58.34	24.11	41.23
GRAND TOTAL MUNICIPAL + URBAN	23,513	19,001	15,835	9,658	7,917	152.85	63.72	108.72

Municipal Parking Development Charges - Effective until September 18, 2022

Service	RESIDENTIAL					NON-RESIDENTIAL (per sq.m. of Gross Floor Area)		
	Single and Semi-Detached Dwelling	Other Multiples	Apartments - 2 Bedrooms +	Apartments - Bachelor and 1 Bedroom	Special Care/Special Dwelling Units	Commercial	Industrial	Institutional
Municipal Wide Services:								
Municipal Parking Spaces	88	71	59	36	30	0.65	0.32	0.43

Development Charges Payable	RESIDENTIAL					NON-RESIDENTIAL (per sq.m. of Gross Floor Area)		
	Single and Semi-Detached Dwelling	Other Multiples	Apartments - 2 Bedrooms +	Apartments - Bachelor and 1 Bedroom	Special Care/Special Dwelling Units	Commercial	Industrial	Institutional
Effective until September 18, 2022:								
Municipal Wide	18,580	15,014	12,512	7,632	6,257	95.16	39.93	67.92
Municipal Wide + Urban Services	23,601	19,072	15,894	9,694	7,947	153.50	64.04	109.15
Effective September 19, 2022:								
Municipal Wide	18,492	14,943	12,453	7,596	6,227	94.51	39.61	67.49
Municipal Wide + Urban Services	23,513	19,001	15,835	9,658	7,917	152.85	63.72	108.72